

MEMORANDUM

Date: June 29, 2016

To: Bidders for:
14 Riverside Drive Renovations
14 Riverside Drive, Asheville, North Carolina 28801

From: Shane Elliott, LEED AP
Mathews Architecture, P.A.

Re: **ADDENDUM NO. 3**
14 Riverside Drive
City of Asheville

The attached is **Addendum No. 3**, which includes additions, deletions, modifications, and/or clarifications to the above referenced Project Documents released for bids on June 13, 2016, and dated October 27th 2015. Please incorporate this into your Bid Documents upon receipt and sign the "Form of Proposal" acknowledging receipt of Addendum No. 3. The date for receipt of bids remains unchanged. It is 2:00 PM, Wednesday, July 6th, 2016.

ADDENDUM ITEMS

ITEM NO. G-1: 14 Riverside Drive Parking

The only acceptable parking locations for bidders visiting the 14 Riverside Drive project site are in the grassy lot directly adjacent to the building. 12 Bones restaurant and Curve Studios are privately owned businesses. **Parking at these locations is strictly prohibited.**

ITEM NO. G-2:

Environmental Remediation at Existing Soils

AMEC will test soils with hand augers before the sewer lateral is started. Their findings will dictate the corrective actions we will need to do, if any. The city of Asheville is paying AMEC for testing and a plan for proper disposal if required as well as disposal fees. The contractor will be responsible for installing the lateral and following the environmental contingent plan. The separation of soils that were discussed at the pre-bid meeting involve piling the first 3 feet of soil on one side of the trench. The soil below the first 3 feet will be piled on the other side of the trench, and used first in back filling the lateral pipe (sewer. If soil

needs disposal, the contractor will load in containers provided by the City of Asheville at the city's cost for disposal.

ITEM NO. G-3:

Testing

All materials testing will be determined and as needed by the Architect and structural engineer. The city of Asheville will pay for the testing that the Architect and structural engineer determine necessary. The anticipated tests will be concrete, bearing, and other structural needs as determined by Architect and structural engineer.

ITEM NO. A-1:

Please find attached Revised Drawings A1.1 and A2.1 revised 6/29/16. These drawings outline modifications to the exterior deck as a result of the change of location of the Building Power Service Meter.

ITEM NO. A-2:

Reference note 3/A3.1. Note "4x8 corten steel panel weathered. Provided continuous bent sheet at corner. Attach with bugle head square drive fastener." Should be altered to read: "4x8 corten steel panel to be uniformly pre-weathered with vinegar or like base solution. Owner and Architect to be present for weathering of initial test panel. After approval of weathering process, panels to be treated with 2 coats of Penetrol rust inhibitor. Provide continuous bent sheet at corner. Attach panels with bugle head square drive fasteners at 16" o/c each way in field of panel, and 8" o/c at all panel edges."

ITEM NO. A-3:

All paint that can be removed by methods outlined in project specification is to be removed. If contractor cannot remove all paint, then the Owner and Architect will be consulted to verify that all measures have been taken to remove all paint possible.

ITEM NO. S-1:

Reference Sheet S1.2.

Please find attached Sheet S1.2, Revision #2 with revision to the exterior deck to accommodate the relocation of the Building Power Service Meter.

ITEM NO. E -1:

Please find attached Clarification E-3 Regarding Building Power Service Meter Location.

ATTACHMENTS:

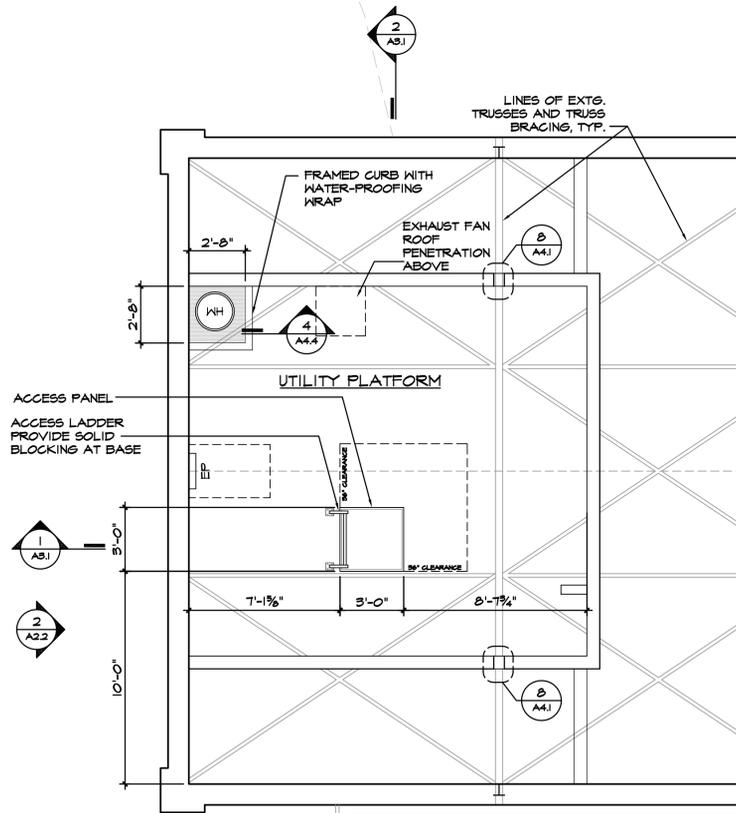
- A1.1 revision #2 dated 6/29/16.
- A2.1 revision #2 dated 6/29/16.
- S1.2 revision #2 dated 6/29/16
- Electrical Clarification E-3

Thank You,

A handwritten signature in black ink, appearing to read "Shane Elliott", written in a cursive style.

Shane Elliott, LEED AP

Mathews Architecture, PA

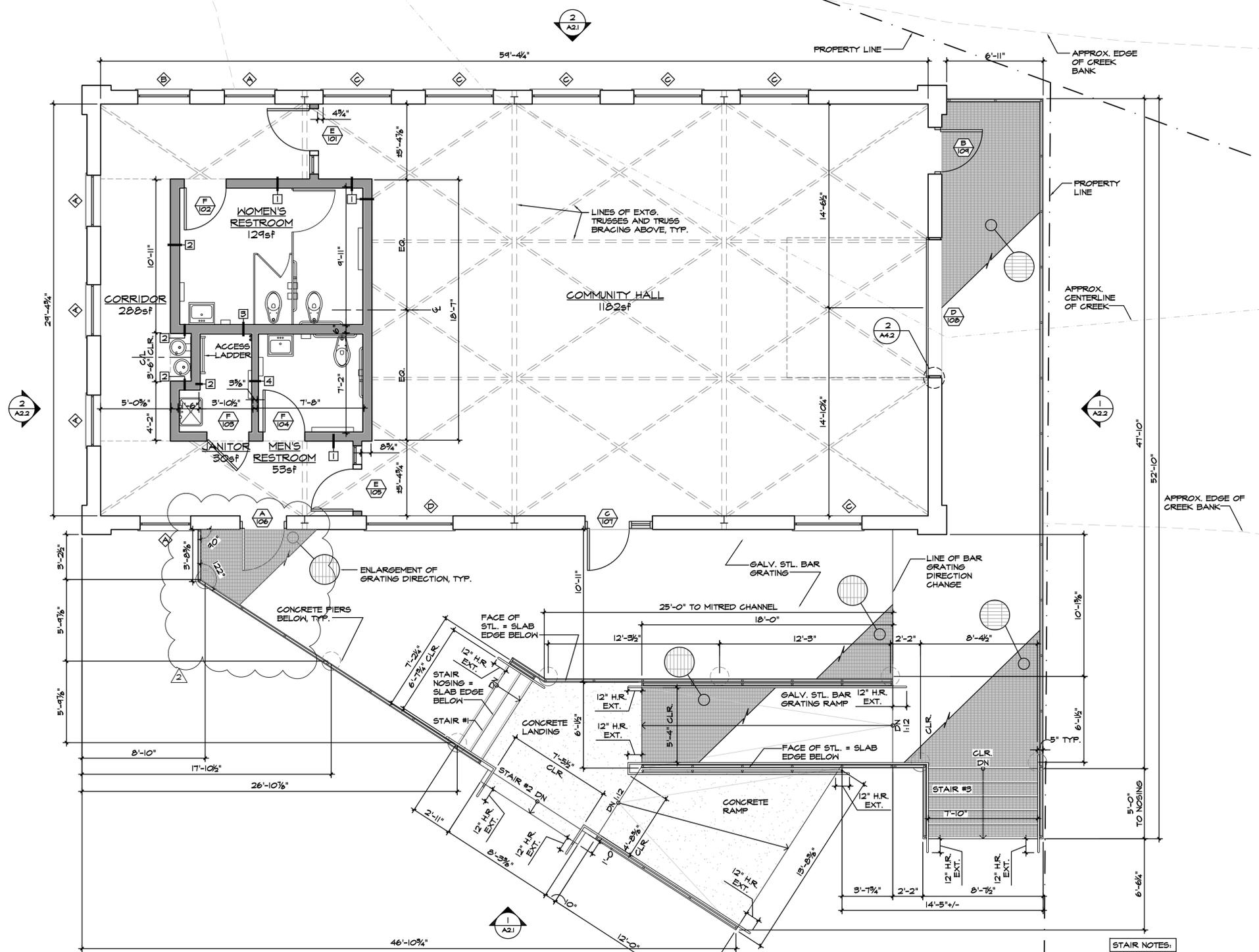


2 UTILITY PLATFORM PLAN

SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

- 20-GA. 6" MTL. STUDS W/ 1/2" TILE BACKER BD. & 1/2" CERAMIC TILE ASSEMBLY ON RESTROOM AND JANITOR SIDES, FULL CAVITY CLOSED CELL INSULATION INTERNALLY, 1/2" GLASS MAT GYP. WALL SHEATHING UNDER 1/8" CORTEN STEEL PANEL, OTHER SIDE.
- 20-GA. 6" MTL. STUDS W/ 1/2" TILE BACKER BD. & 1/2" CERAMIC TILE ASSEMBLY ON RESTROOM AND JANITOR SIDES, FULL CAVITY CLOSED CELL INSULATION INTERNALLY, 1/8" PAINTED 'QUIET ROCK' GYP. BD. OTHER SIDE.
- 20-GA. 6" MTL. STUDS W/ FULL CAVITY CLOSED CELL INSULATION INTERNALLY, 1/2" TILE BACKER BD. & 1/2" CERAMIC TILE ASSEMBLY BOTH SIDES.
- 20-GA. 3 1/2" MTL. STUDS W/ FULL CAVITY CLOSED CELL INSULATION INTERNALLY, 1/2" TILE BACKER BD. & 1/2" CERAMIC TILE ASSEMBLY BOTH SIDES.



1 FLOOR PLAN

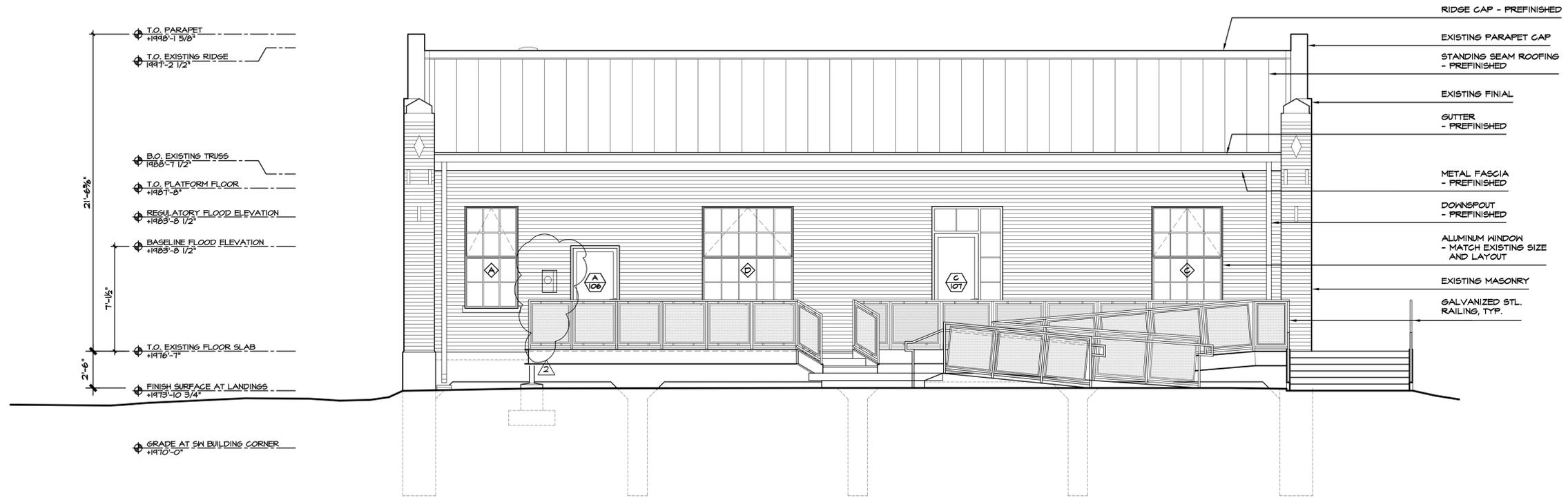
SCALE: 1/4" = 1'-0"

ROOM NUMBER / NAME	FLOOR	BASE	WALL	CEILING	REMARKS
COMMUNITY HALL	●	●	●	●	
CORRIDOR (EAST PORTION)	●	●	●	●	
CORRIDOR (NORTH & SOUTH PORTIONS)	●	●	●	●	
WOMEN'S RESTROOM	●	●	●	●	FINAL WALL TILE LAYOUT AND PATTERN TO BE CONFIRMED BY OWNER AND ARCHITECT
MEN'S RESTROOM	●	●	●	●	FINAL WALL TILE LAYOUT AND PATTERN TO BE CONFIRMED BY OWNER AND ARCHITECT
JANITOR	●	●	●	●	FINAL WALL TILE LAYOUT AND PATTERN TO BE CONFIRMED BY OWNER AND ARCHITECT
UTILITY PLATFORM	●	●	●	●	

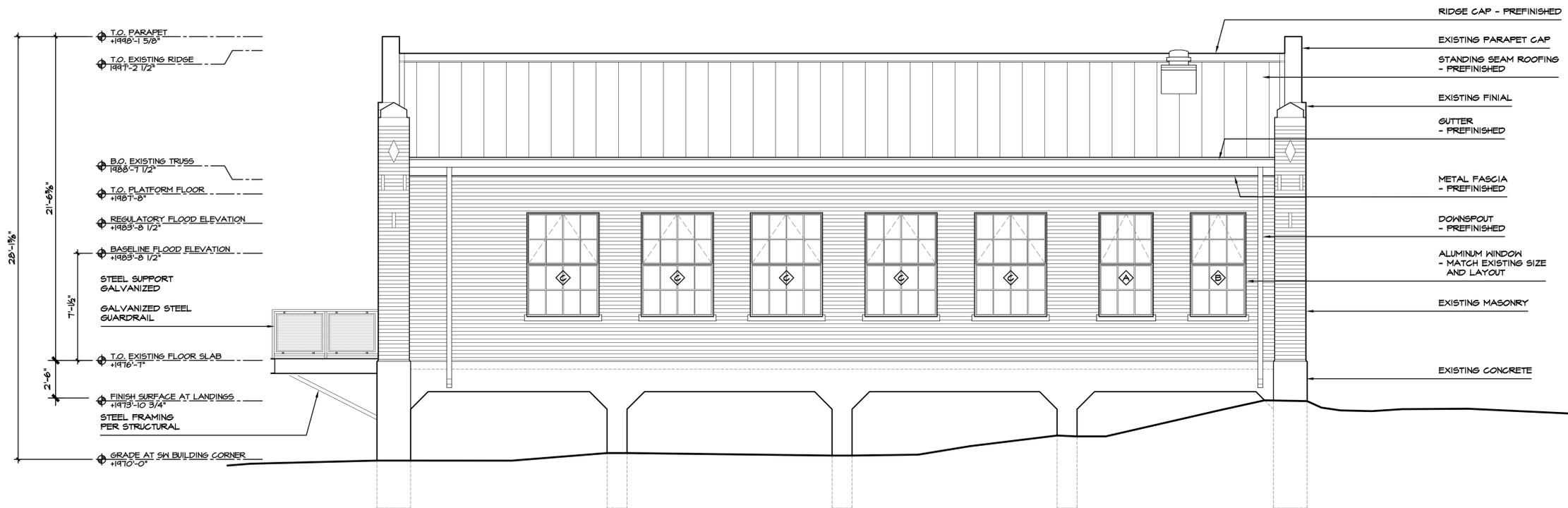
NOTES:
 1. ALL EXISTING FINISHES TO REMAIN SHALL BE PROTECTED THROUGH ALL STAGES OF CONSTRUCTION.
 2. PATCH AND REPAIR TO DAMAGED EXISTING FINISHES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 3. CLEAN EXISTING ROOF TRUSSES AND OTHER METAL SURFACES AND ISOLATE ANY RUST WITH 'CORROSEAL RUST CONVERTER' OR APPROVED EQ.

STAIR NOTES:
 STAIR #1: GALV. STL. GRATING
 (1) TREADS AT 12" = 2'-0"
 (2) TREADS AT 12" = 1'-0"
 (3) RISERS AT 6" = 1'-6"
 STAIR #2: CONCRETE
 (1) TREAD AT 12" = 1'-0"
 (2) RISERS AT 6" = 1'-0"
 STAIR #3: GALV. STL. GRATING
 (1) TREADS AT 12" = 5'-0"
 (2) TREADS AT 12" = 2'-8 1/4"

NOTE: ALL NEW DIMENSIONS TO OUTSIDE FACE OF UNFINISHED STUD, COLUMN, OR MASONRY, U.N.O. 'CLR.' IN DIMENSION STRINGS INDICATES FINISHED SURFACE DIMENSION. ALL EXISTING DIMENSIONS TO FINISHED FACE. VERIFY ALL DIMENSIONS AT EXISTING CONSTRUCTION IN FIELD. WINDOWS AND WINDOW GROUPS ARE TO BE CENTERED IN THEIR RESPECTIVE ROOMS, U.N.O.
NOTE: WALL SHADING INDICATES NEW WALLS.



1 NORTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

14 RIVERSIDE DRIVE RENOVATIONS
14 RIVERSIDE DRIVE
ASHEVILLE NC 28801

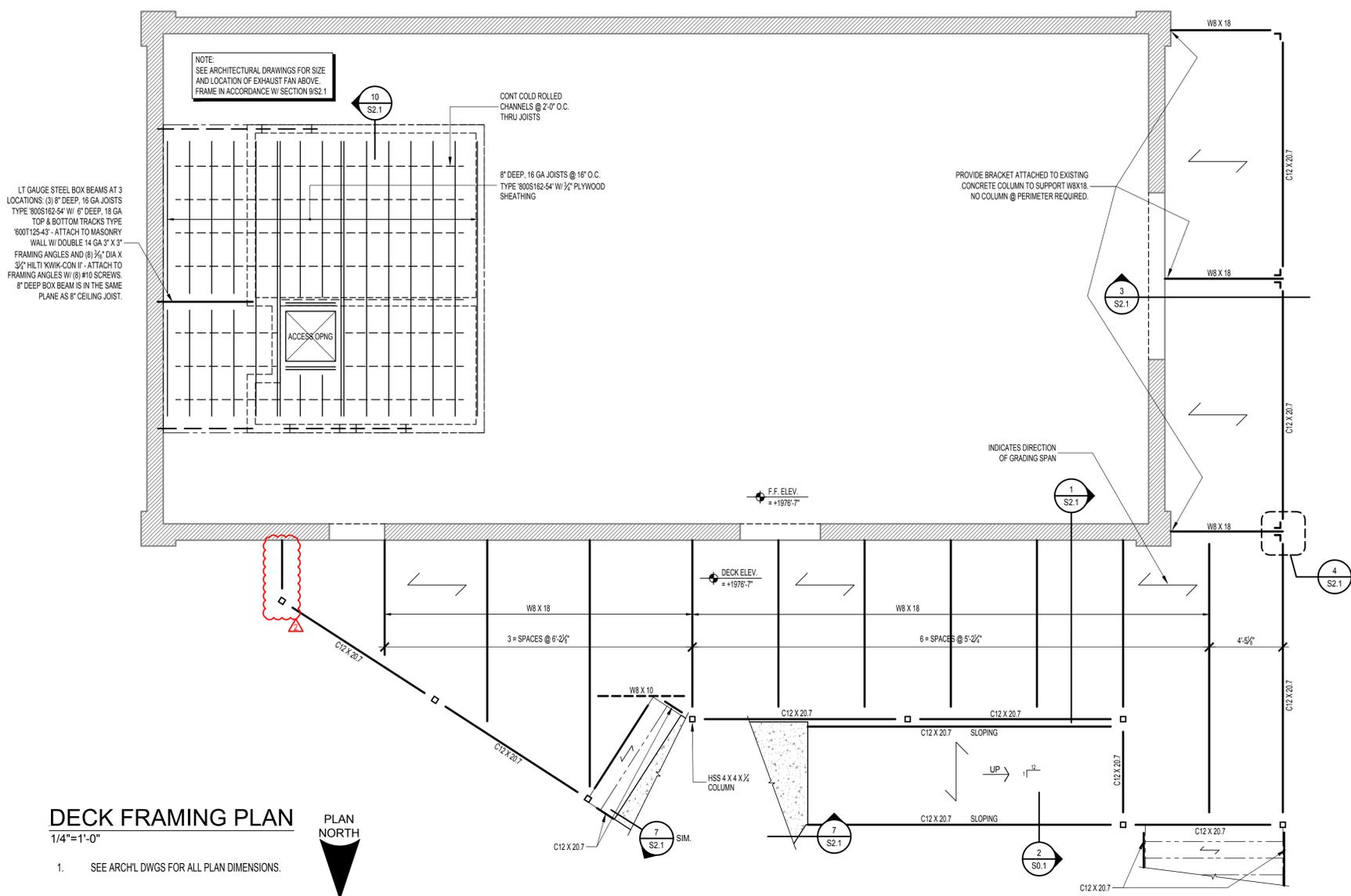


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MATHEWS
ARCHITECTURE, P.A.

DATE: 10/27/2015
PROJECT: 1412
REV #2 08/29/16

A2.1



DECK FRAMING PLAN
1/4"=1'-0"
1. SEE ARCHL DWGS FOR ALL PLAN DIMENSIONS.

PLAN NORTH

REVISION #2 06/29/2016



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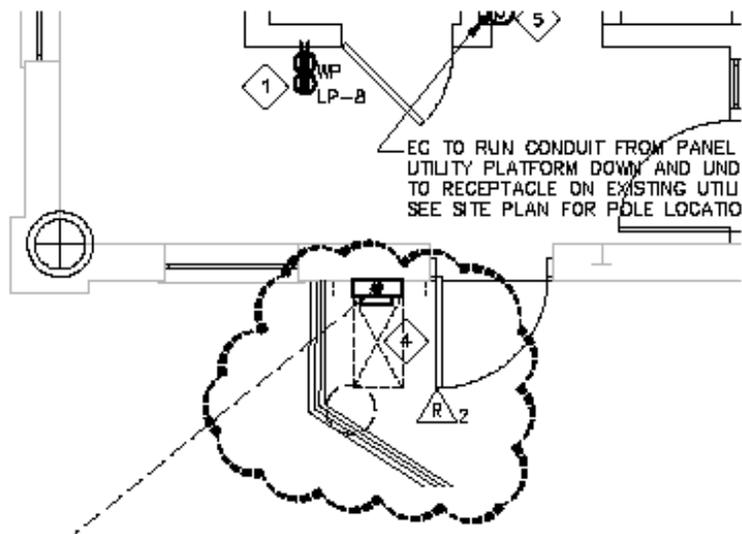
CLARIFICATION E-3

TO: Mathews Architecture – Shane Elloit

PROJECT: 14 RIVERSIDE DR - RENOVATION

ESE PROJECT NO.: 7491
DATE 6-20-2016
SUBJECT Building Power Service Meter Location

REFERENCE SHEET E1.0, DETAIL 2: Meter base/service disconnect mounting location to move plan West to wall space behind door, between door and window. SEE BELOW--



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