

# Asheville Housing Sampler:

Residential Building Code (<3 units)

Commercial Building Code

Single Family Detached

Single Family Attached

Duplex

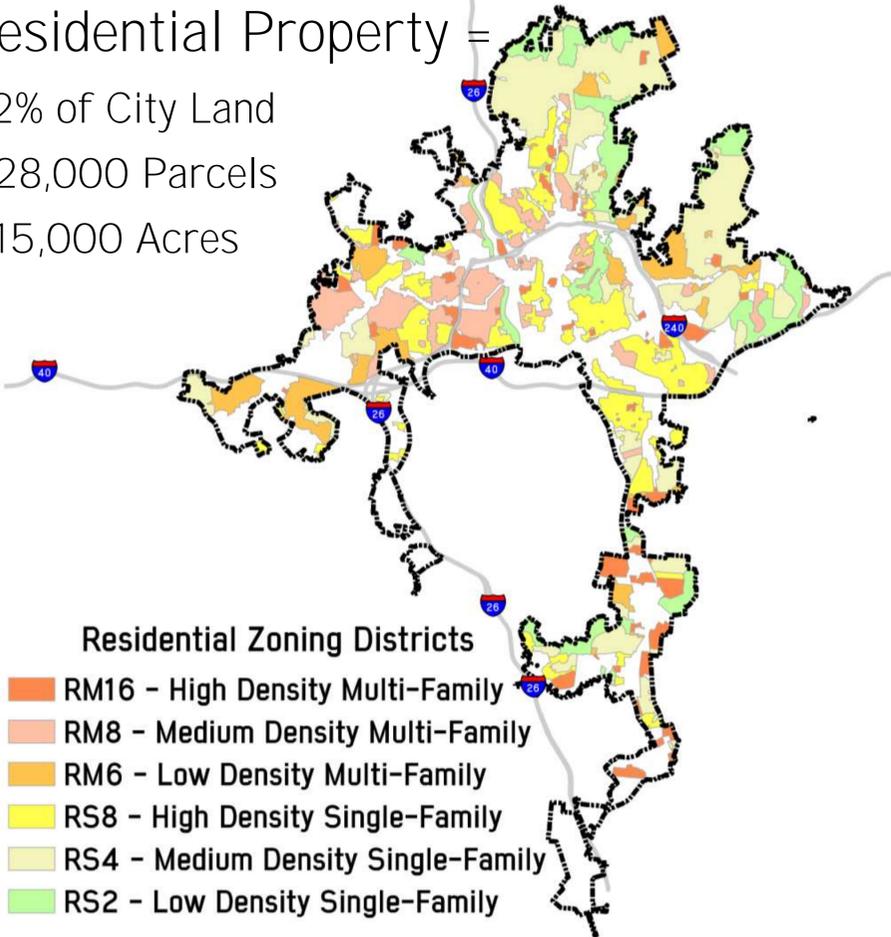
Multifamily



# 2) Background:

## Residential Property =

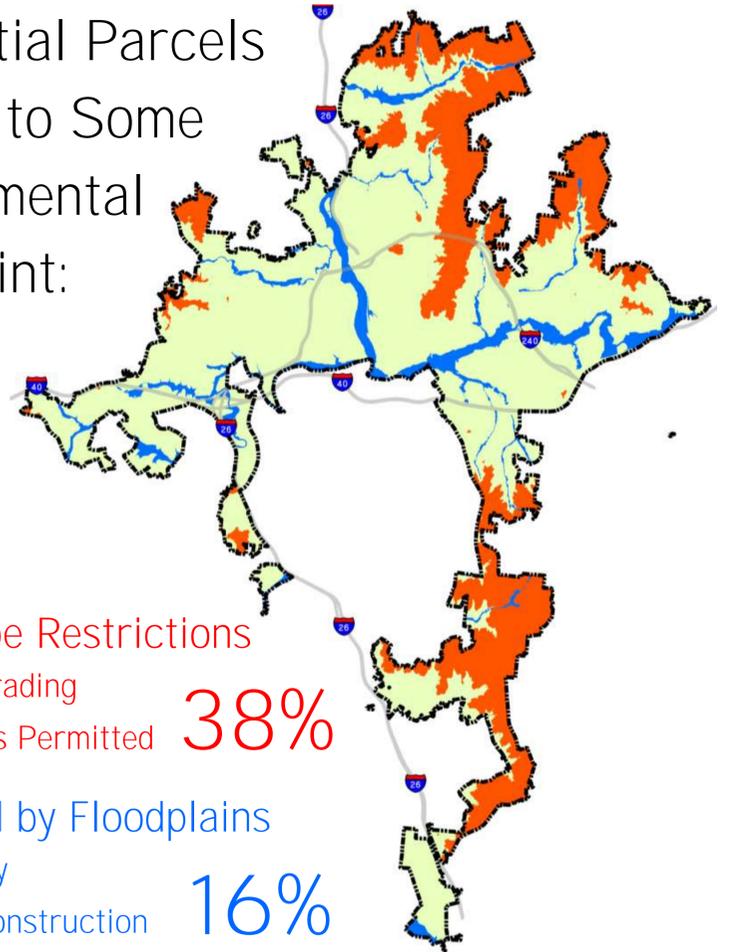
52% of City Land  
 ~28,000 Parcels  
 ~15,000 Acres



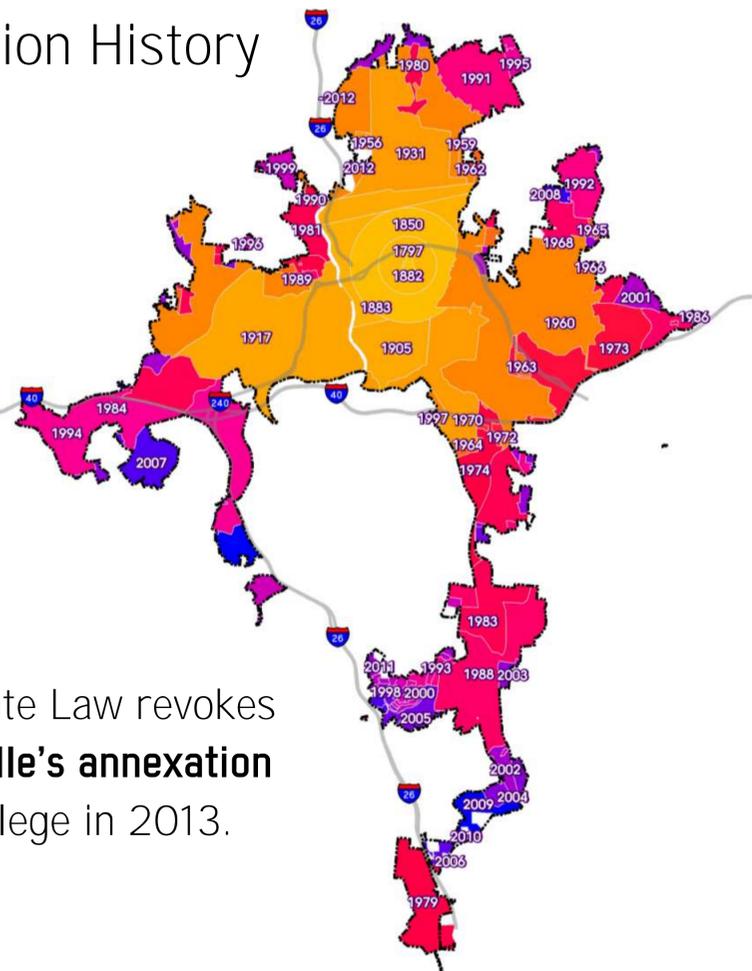
## Residential Parcels Subject to Some Environmental Constraint:

**Steep Slope Restrictions**  
 - Reduced Grading  
 - Fewer Units Permitted **38%**

**Challenged by Floodplains**  
 - More Costly  
 - Reduced Construction **16%**



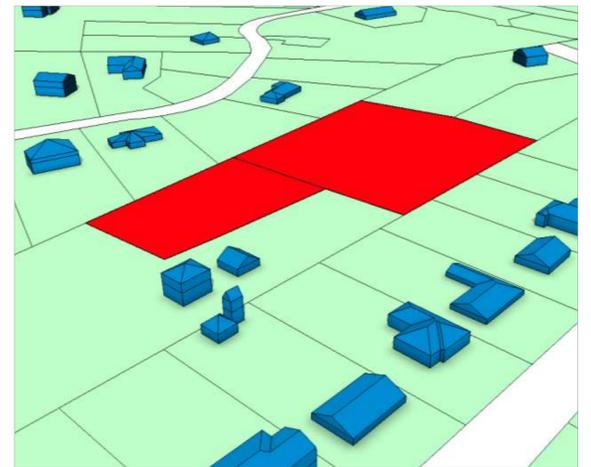
## Annexation History



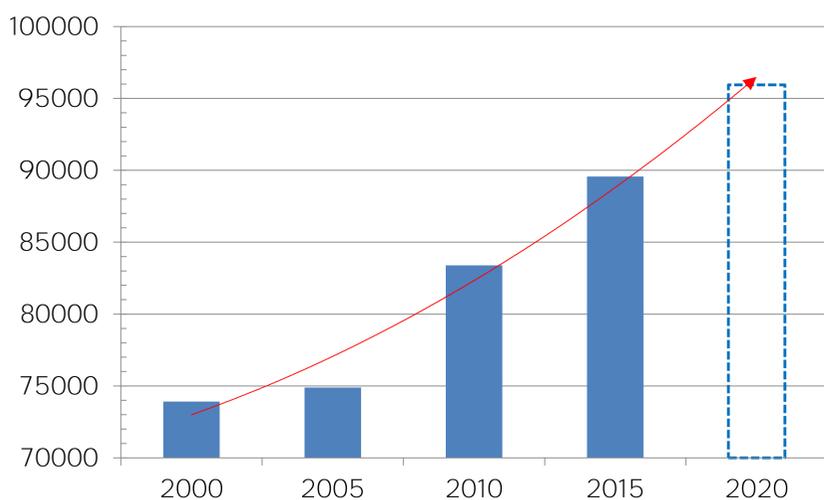
NC State Law revokes Asheville's annexation privilege in 2013.

## Residential Parcels without Street Frontage

**Development Challenges:**  
 - More difficult to access  
 - Costly infrastructure **3%**



## Asheville's Population Growth



Source: 2000 Census; 2010 Census; ESRI; Urban Decision Group; Bowen National Research

## Vacant Residential Parcels

**Opportunity:**  
 - Lots Available for Development **9%**



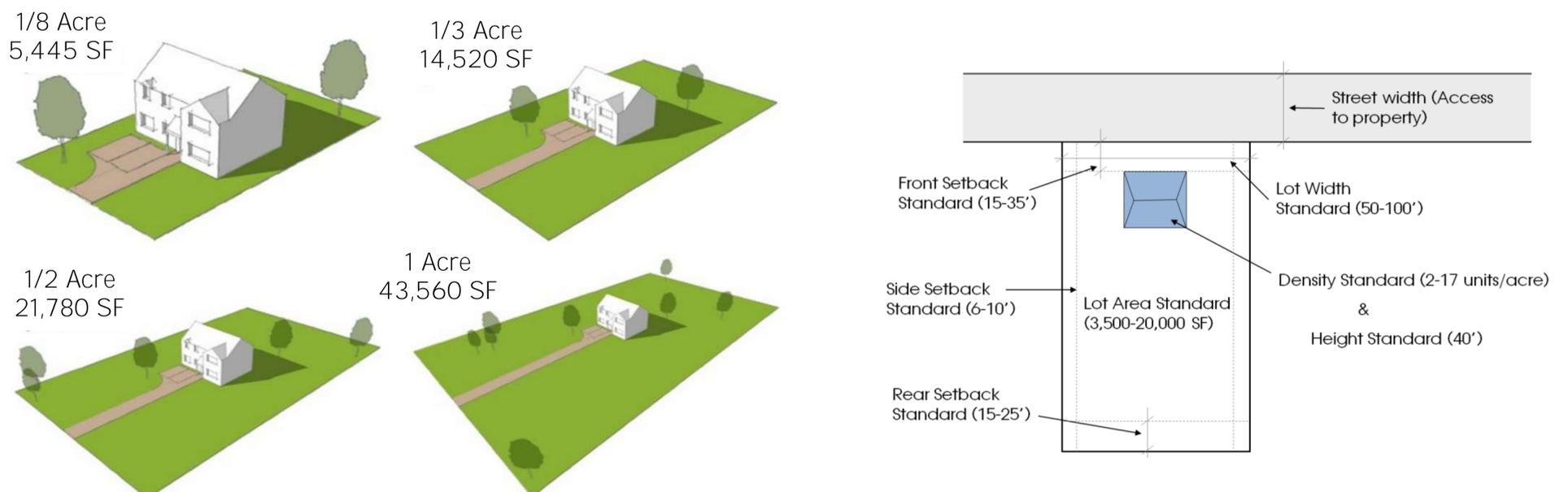
# Background (Cont):

## Current Residential Zoning District Standards:

Zoning District	Min Lot Area	Min Lot Width	Front Setback	Side Setback	Rear Setback
RS2	20,000 SF	100 FT	35 FT	10 FT	25 FT
RS4	10,000 SF	80 FT	25 FT	10 FT	25 FT
RS8	5,000 SF	50 FT	15 FT	6 FT	15 FT
RM6	7,000 SF	70 FT	15 FT	6 FT	15 FT
RM8	5,000 SF	50 FT	15 FT	6 FT	15 FT
RM16*	2,500 SF 3,500 SF	50 FT	15 FT	6 FT	15 FT

\* RM16: Minimum lot area for attached single family: 2,500 SF; for detached single family: 3,500; for multifamily: 5,000 SF

## Lot Standards Visualized:



# Policy Directives:

## City Council's 2036 Vision (Housing):

- Abundant, Diverse & Innovative Housing Choices
- Affordable Housing
- Historic Community Character Honored



## Affordable Housing Advisory Committee (AHAC) 2016 Recommendations:

- Assess the opportunities and barriers for increased development of multifamily rental and ownership units to fit the form of existing residential neighborhoods



## 2025 Comprehensive Plan:

The City should pursue compatible infill development that builds on the successes of the past while addressing the challenges of the natural and built environment.

## Location Efficient Affordable Housing for a More Sustainable Asheville\*:

- Remove barriers to compact, mixed-income development in the Unified Development Ordinance (UDO) that favor the isolation of single-family residential uses from other uses.



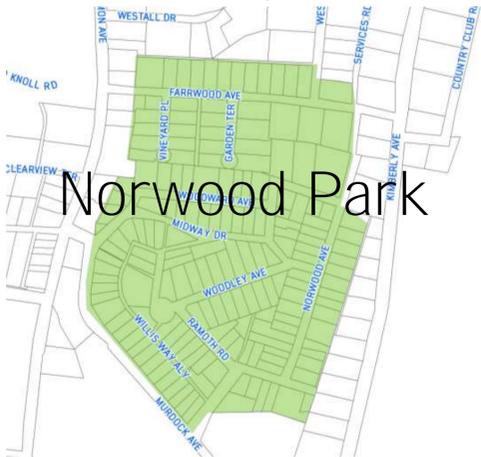
\* Report by the Center for Neighborhood Technology for the City of Asheville. April 2012

# Neighborhood Density:

## Neighborhood Examples

## Street View Example

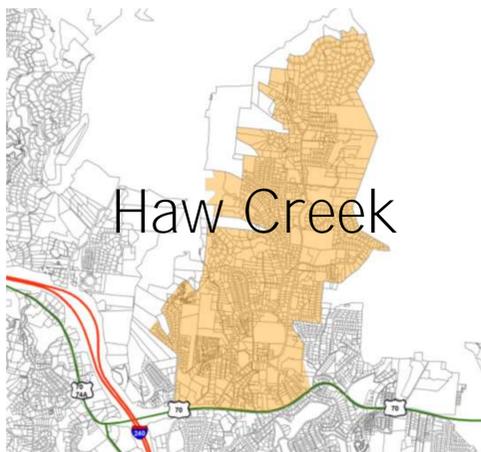
## Land Analysis



Zoning District: RS8  
 Min Lot Size: 5,000 SF  
 Units Permitted/Acre: 8

Avg Lot Size: 7,000 SF  
 (40% Larger than Permitted)

Actual Density: 6.3  
 (21% Fewer than Allowed)



Zoning District: Primarily RS4  
 Min Lot Size: Primarily 10,000 SF  
 Units Permitted/Acre: 4

Avg Lot Size: 30,000 SF  
 (300% Larger than Permitted)

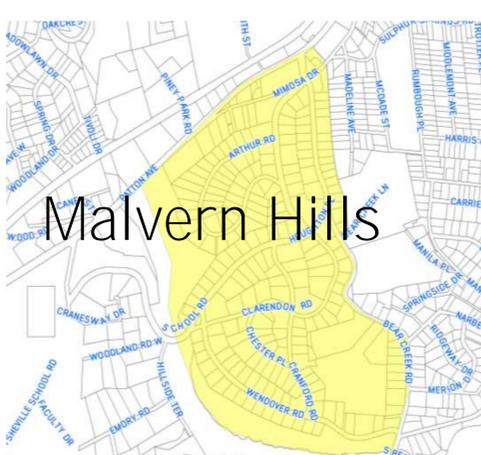
Actual Density: 1.9  
 (53% Fewer than Allowed)



Zoning District: Various  
 Min Lot Size: 5,000-10,000 SF  
 Units Permitted/Acre: 4-17

Avg Lot Size: 14,000 SF  
 (40-280% Larger than Permitted)

Actual Density: 3.7  
 (Fewer than Allowed)



Zoning District: Primarily RS4  
 Min Lot Size: Primarily 10,000 SF  
 Units Permitted/Acre: 4

Avg Lot Size: 21,000 SF  
 (100% Larger than Permitted)

Actual Density: 2  
 (50% Fewer than Allowed)



Zoning District: Primarily RM8/RS8  
 Min Lot Size: 5,000 SF  
 Units Permitted/Acre: 8

Avg Lot Size: 10,000 SF  
 (100% Larger than Permitted)

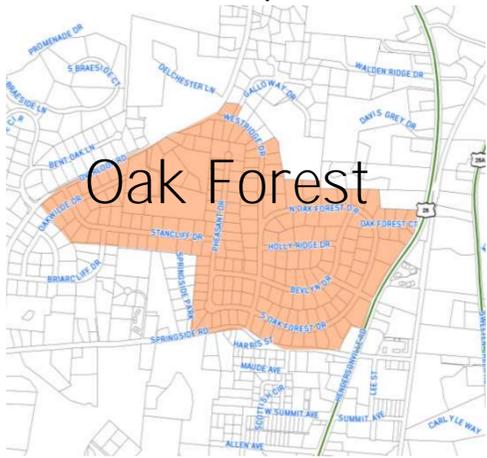
Actual Density: 6.2  
 (23% Fewer than Allowed)

# Neighborhood Density (Cont):

## Neighborhood Examples

## Typical Street Example

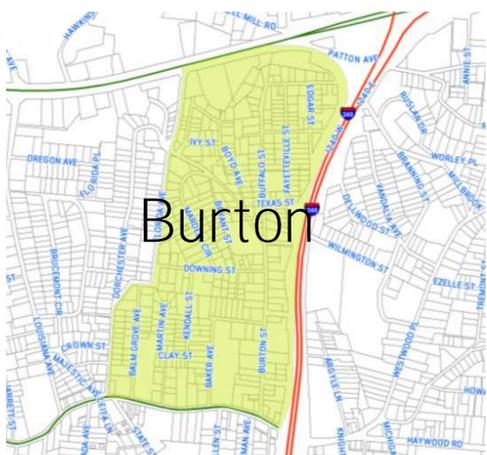
## Land Analysis



Zoning District: RS4  
 Min Lot Size: 10,000 SF  
 Units Permitted/Acre: 4

Avg Lot Size: 27,000 SF  
 (270% Larger than Permitted)

Actual Density: 1.2  
 (70% Fewer than Allowed)



Zoning District: Primarily RM8  
 Min Lot Size: Primarily 5,000 SF  
 Units Permitted/Acre: 8

Avg Lot Size: 7,900 SF  
 (58% Larger than Permitted)

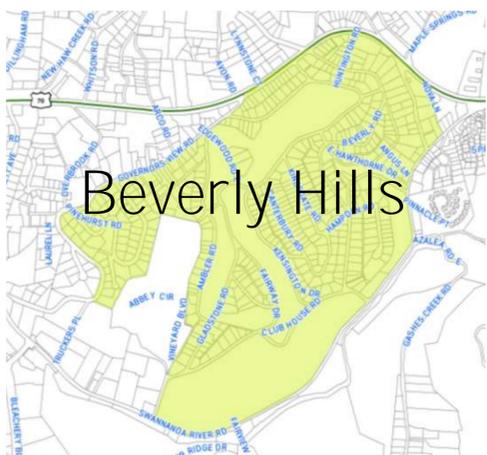
Actual Density: 4  
 (50% Fewer than Allowed)



Zoning District: Various  
 Min Lot Size: Primarily 5,000 SF  
 Units Permitted/Acre: 8-17

Avg Lot Size: 7,500 SF  
 (50% Larger than Permitted)

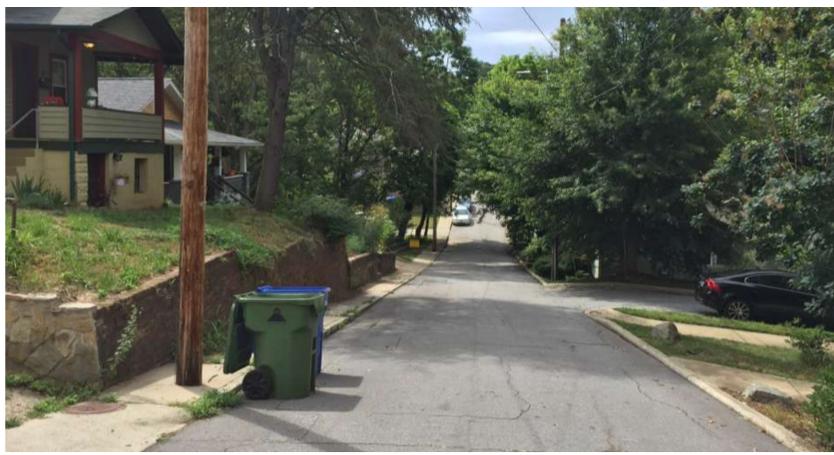
Actual Density: 8.8  
 (Proposed Density is Met)



Zoning District: RS4  
 Min Lot Size: 10,000 SF  
 Units Permitted/Acre: 4

Avg Lot Size: 16,000 SF  
 (60% Larger than Permitted)

Actual Density: 2  
 (50% Fewer than Allowed)



Zoning District: RM8 & RM16  
 Min Lot Size: Primarily 5,000 SF  
 Units Permitted/Acre: 8-17

Avg Lot Size: 6,500 SF  
 (30% Larger than Permitted)

Actual Density: 5.2  
 (35% Fewer than Allowed)

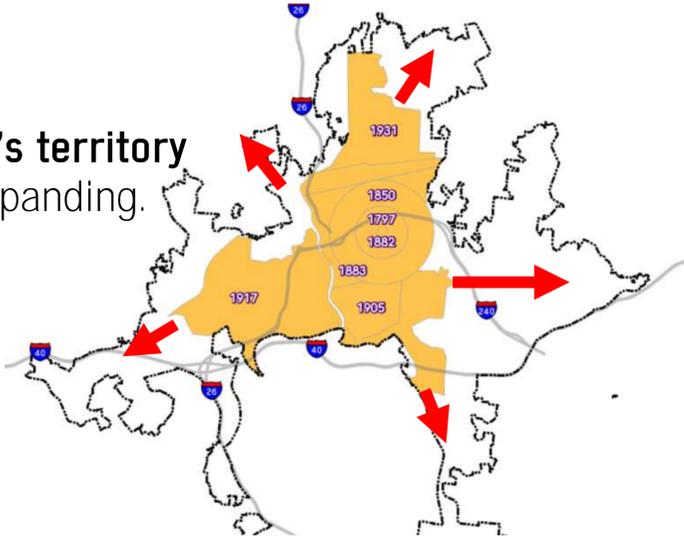
Citywide Actual Density = 2.7 units/acre

# Infill Barriers:

1948\*

Today

Asheville's territory was expanding.



2013 State Law revokes Asheville's annexation privilege:

City boundary becomes fixed

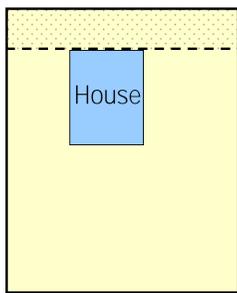


Neighborhoods contained varied parcel sizes that were more pedestrian scaled

Over time zoning districts have established greater lot uniformity and less variability within districts

The City Code allowed smaller side and rear setbacks in the higher density district

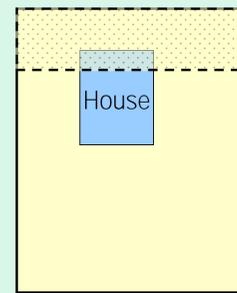
Example: 1948 Code: RA-5 Zoning District



Rear Setback: 10 FT

Today's City Code maintains greater setbacks

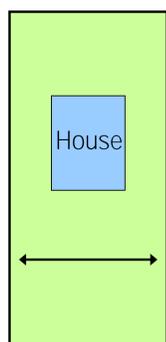
Example: RM8 Zoning District



Rear Setback: 15 FT

The largest minimum lot width in the lowest-density district was 70 feet

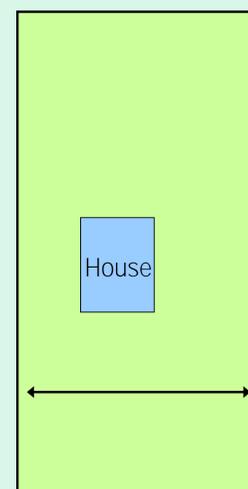
Example: 1948 Code: RA-8 Zoning District  
Min Lot Size: 8,000 SF



Lot Width: 70 FT

The largest minimum lot width in the lowest-density district is 100 feet

Example: RS2 Zoning District  
Min Lot Size: 20,000 SF



Lot Width: 100 FT

The 1948 Asheville Zoning Code provides a convenient comparison of current zoning rules with the City's historical regulations

# Infill Barriers (Cont):

1948

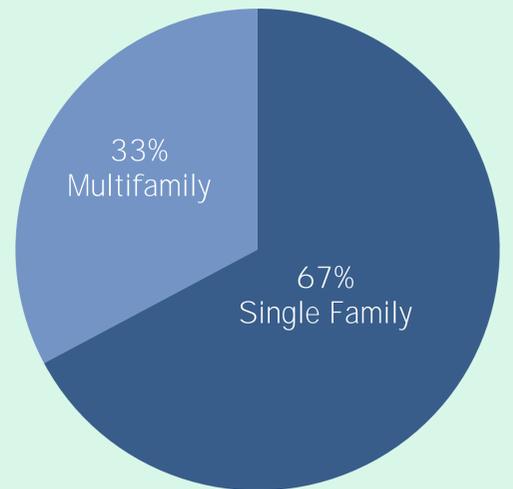
Today

Multifamily units were permitted in all residential zoning districts



Multifamily units are not permitted in most residential districts

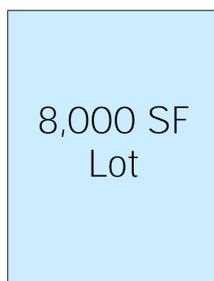
Residential Land by Zoning Type



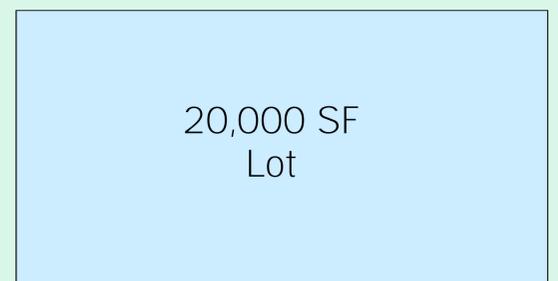
Minimum lot sizes ranged from 5,000-8,000 SF

Minimum lot sizes range from 2,500-20,000 SF

Largest minimum lot size in 1948 (RA-8 District)



Largest minimum lot size today (RS2 District)



Residential areas allowed a duplex on every lot and additional units were permitted for every 500 square feet of lot area above the minimum

Multifamily development requires more land for the same number of units

More Efficient Land Use

Contributes to Sprawl

Example: 1948 Code: RA-5 Zoning District

Example: Today's equivalent to RA-5 = RM8 Zoning District



Asheville formalizes zoning regulations in order to manage future development and community needs

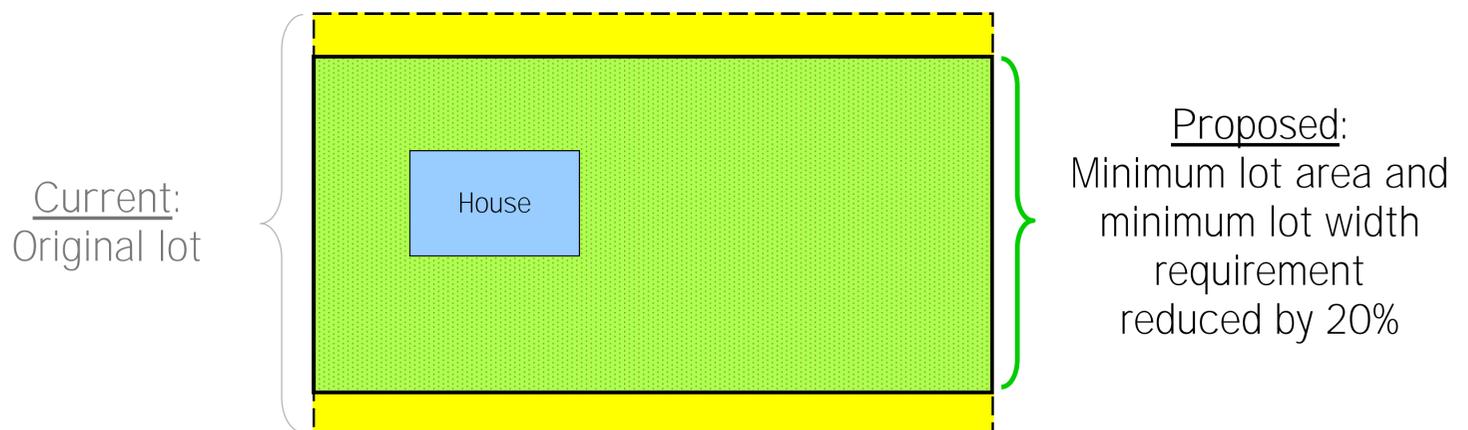
Zoning regulations may not be meeting the needs of a growing community

# Considerations for: All Residential Zoning Districts

## 1. Reduce Minimum Lot Area and Lot Width by 20%

- Provide more flexibility for property owners of larger lots by reducing the minimum lot dimensional standards to encourage incremental, small-scale residential infill

Example of a Lot Reduced by 20% in Area and Width

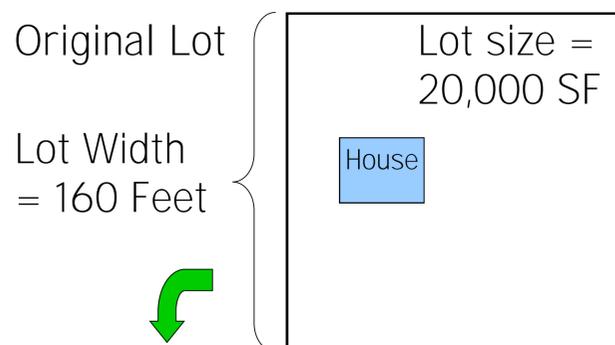


\* Other standards such as setbacks and the provision of off-street parking would still be required

## 2. Establish Lot Area Averaging

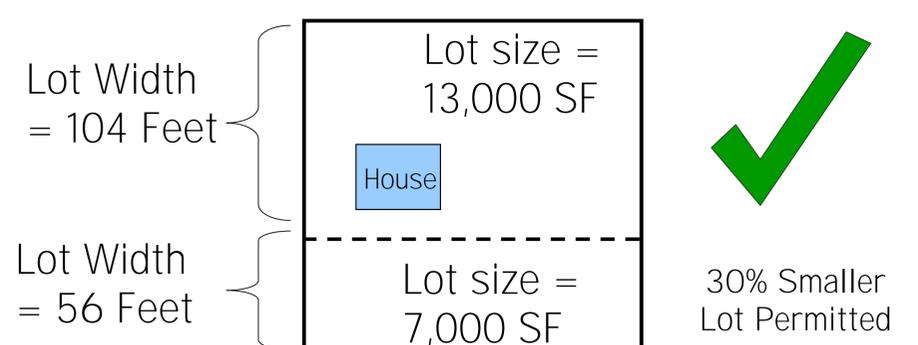
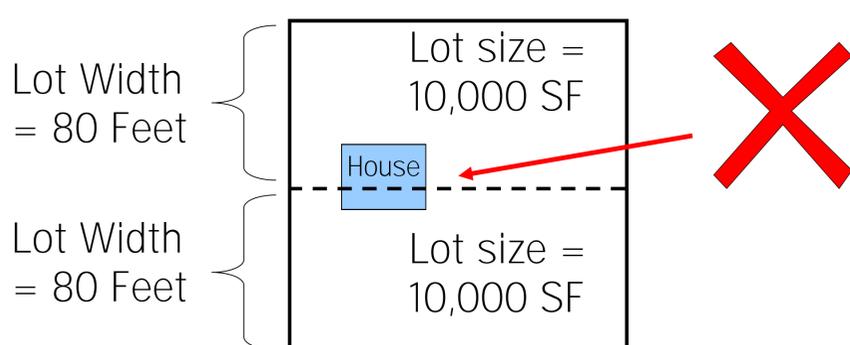
- Where a lot has at least twice the minimum lot area, allow subdivision that would permit lot sizes that are 30% smaller so that homes may be preserved and land used more efficiently

Example: RS4 Zoning District  
Min Lot Size = 10,000 SF  
Min Lot Width = 80 Feet



**IF...** The property meets the requirements for subdivision (twice the minimum lot area & lot width) **but the home's existing placement is problematic for subdivision**

**THEN...** Lot area averaging allows the home to be preserved while permitting a smaller parcel to be subdivided. The small lot can be no more than 30% smaller than the minimum standard



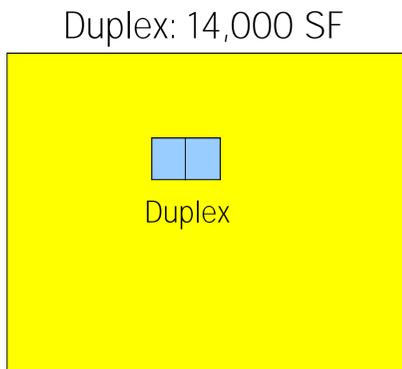
# Considerations for: Multifamily Zoning Districts

## 1. Incentivize Duplexes:

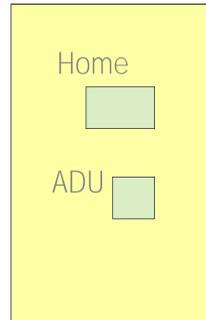
- Allow two units to be constructed on any parcel within a multifamily zoning district regardless of lot size

Example: RM6 Zoning District  
Min Lot Size: 7,000 SF

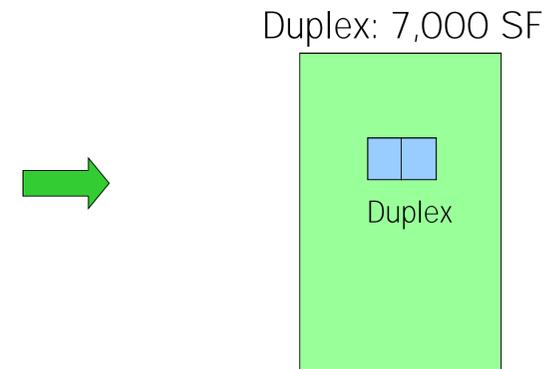
Current lot size requirement for a:



Versus for a Single-Family Home & ADU: 7,000 SF



Proposed lot size requirement for a:

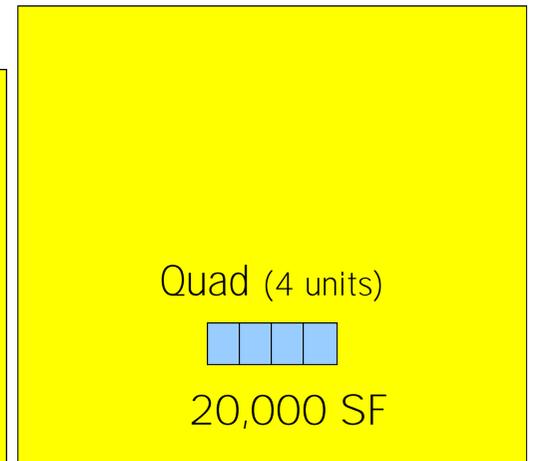
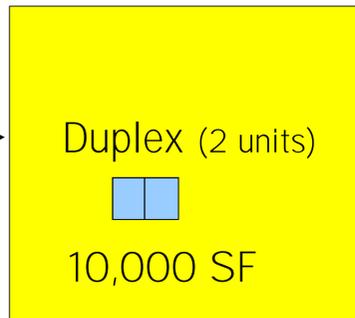


## 2. Incentivize Multifamily:

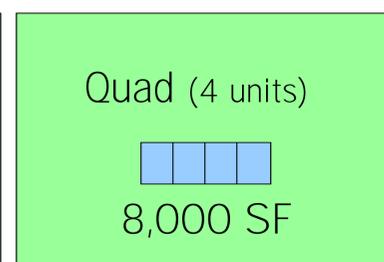
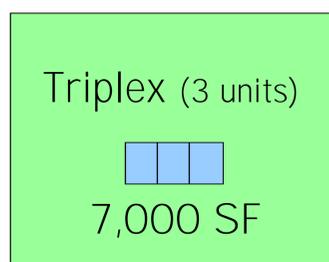
- Allow Extra Multifamily Units for Each 1,000 SF of Additional Lot Area

Example: RM8 Zoning District  
Min Lot Size: 5,000 SF

Current lot size requirement for a:



Proposed lot size requirement for a:



Etcetera...

## 3. Require Design Compatibility for all Multifamily

- NC State law allows local government to consider design standards for multifamily (3 or more units) projects

Possible Design Elements:

- Number and location of entrances
- Roof style
- Parking & driveways
- Planting & street trees
- Orientation of building
- Building mass & coverage of lot
- Setbacks
- Height
- Front porch
- Others?

Example: Requiring trees or shrubs to be planted in front of multifamily residential buildings



Example: Requiring Parking to be located behind multifamily buildings

